

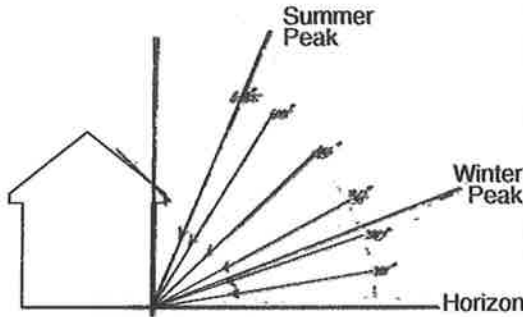

VICTOR GARDENS

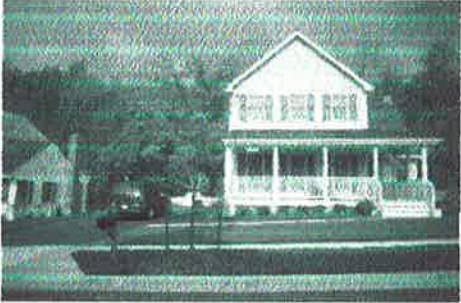
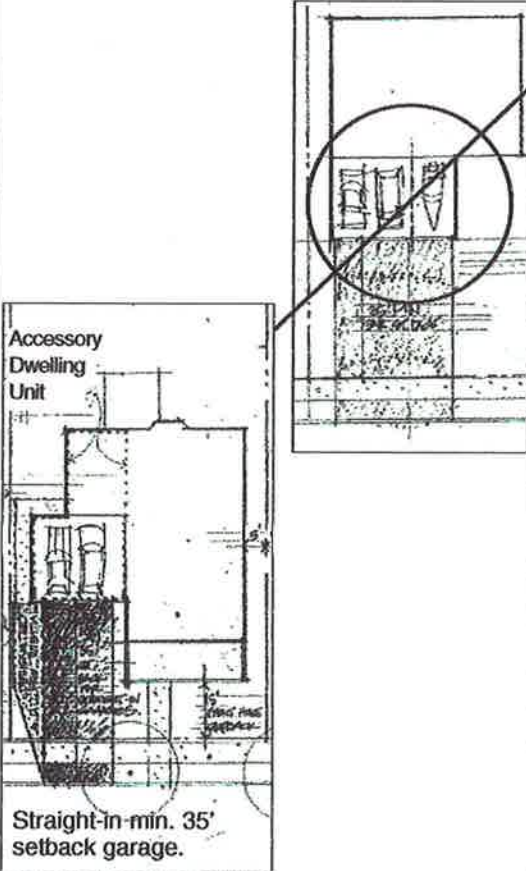
Residential Design Guidelines

Architectural Review & Design Guidelines
for the Architectural Review Committee (ARC)

I. LOT PLANNING GENERAL GUIDES

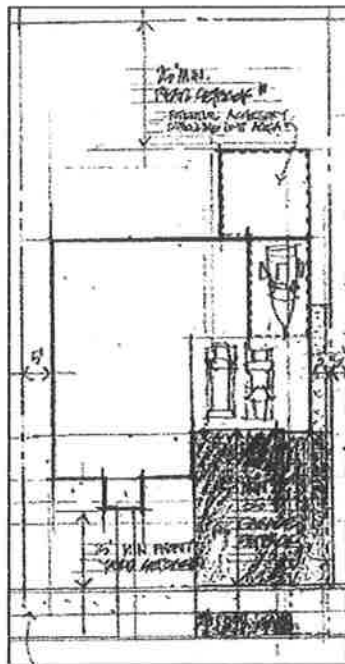
Careful siting of each home should seek to fit the topography, blend with significant existing vegetation, views, open space and other features that define the character of this neighborhood. These guidelines will further this goal by establishing criteria aimed at achieving quality levels of landscape architecture and sensitive site plans. Our goal is beautiful streetscapes and open spaces, interesting and complementary lot amenity features, paving and planting design. Careful consideration must be made for future additions: decks, fences, and screened porches. Consultation with an experienced landscape design consultant is recommended at the early stages of home and site planning.

SUMMARY	EXAMPLE	DETAIL
Design for the unique aspects of your home-site and the neighborhood.		A. HOME SITING <ol style="list-style-type: none"> 1. Home plan and siting should take advantage of sun, views and provide for both privacy and front yard neighboring opportunities, while also creating attractive off-lot impacts and considering sight lines of other homes. 2. Respect the existing topography and work with it. Adapt it with natural forms and retaining that continues the lines of the home. 3. ARC may require maintenance of sight lines of other homes to natural or built amenities.
Refer to specific tree locations and elevations and try to provide a balance between home position, "foot print" and preservation of significant trees.		B. TREE PRESERVATION <ol style="list-style-type: none"> 1. In concept planning identify the trees you will be saving and those that appear to require removal. 2. Preserve undergrowth in protected forest areas. Pathways are appropriate. 3. For Concept ARC Review Plan submittal, show the location, size species, and elevation of existing trees greater than 8 inches in diameter and oaks, hickory and sugar maple greater than 2 inches in diameter within the proposed area to be disturbed and within 20 feet thereof.

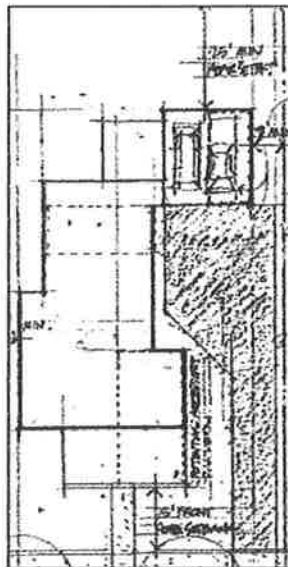
SUMMARY	EXAMPLE	DETAIL
<p>Position garages to reduce their visual impact on the street. Cause the active, visually interesting features of the house to be prominent on the streetscape.</p>		<p>C. LOT-HOME POSITION GUIDE</p> <ol style="list-style-type: none"> 1. Respond to ARC garage and home position from ARC-provided Lot Planning Guide. 2. On vertical curb streets, utilize existing curb cut or pay for new curbcut location and street restoration/repair. 3. Homes should be positioned with/in respect to existing homes and in anticipation of siting of future homes. (See: The A.R.C. Lot/Home Location Guide.) <p>D. HOUSE-DOMINANT HOME DESIGNS</p> <ol style="list-style-type: none"> 1. Design homes with "tamed garages", emphasizing a home's elevations, to building massing and architectural detailing, including a recognizable style, or dominant or tasteful blend. <p>E. VICTOR GARDENS'S REDUCED SETBACKS</p> <ol style="list-style-type: none"> 1. 15' setback from front property line allows/ motivates use of deeper floor plans.
<p>Design house-dominant homes with de-emphasized garage mass and doors.</p>		<p>F. TAMING THE GARAGE:</p> <ol style="list-style-type: none"> 1. With reduced lot widths and budget conscious home design, house-dominant designs require creative two and three car garage positioning to screen, diminish impact from road, while emphasizing home entry and approach. 2. Provide not less than two car or more than four spaces without ARC approval. 3. Position garage to emphasize house and minimize garage including: <ul style="list-style-type: none"> • 3 car L-shaped garages with tandem spaces, • turned garages at side streets, • side load garages and • limited use courtyard of garages (where lot width permits). 4. On lookout or walkout lots, accent garages (with two 1 car doors or one 2 car door) to provide greater design interest yet meet homeowner's need for greater storage.

SUMMARY

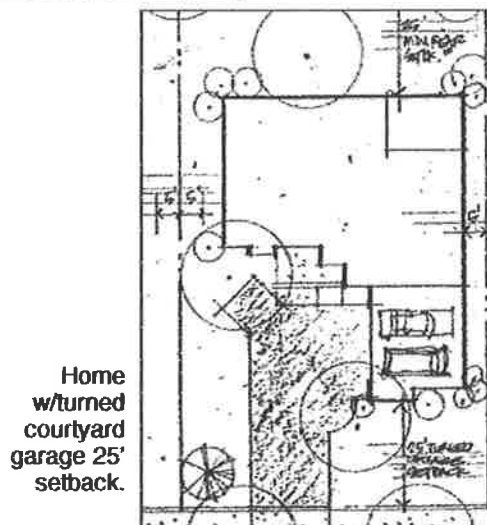
EXAMPLE



Straight-in
garage w/min.
35' setback: 3
car Tandem.

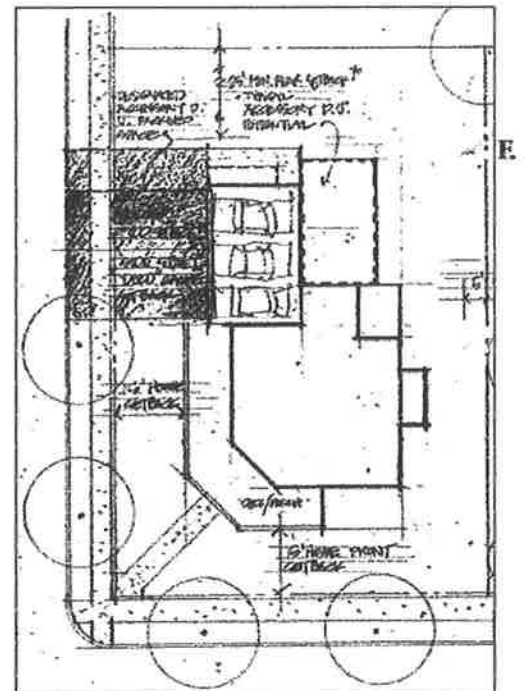


Front loaded,
rear garage.



Home
w/turned
courtyard
garage 25'
setback.

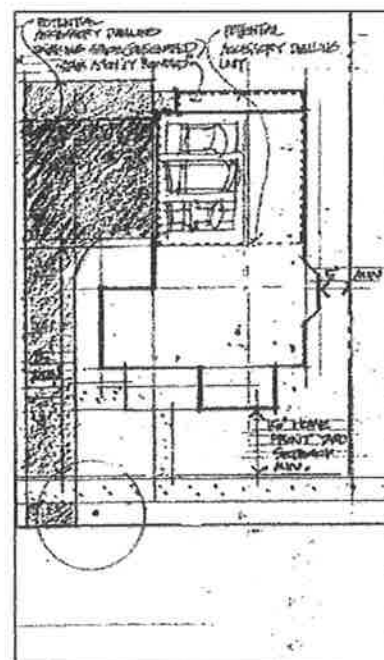
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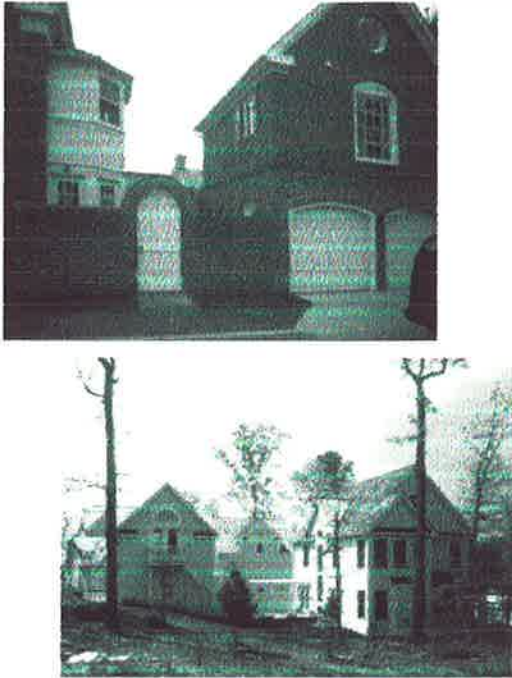
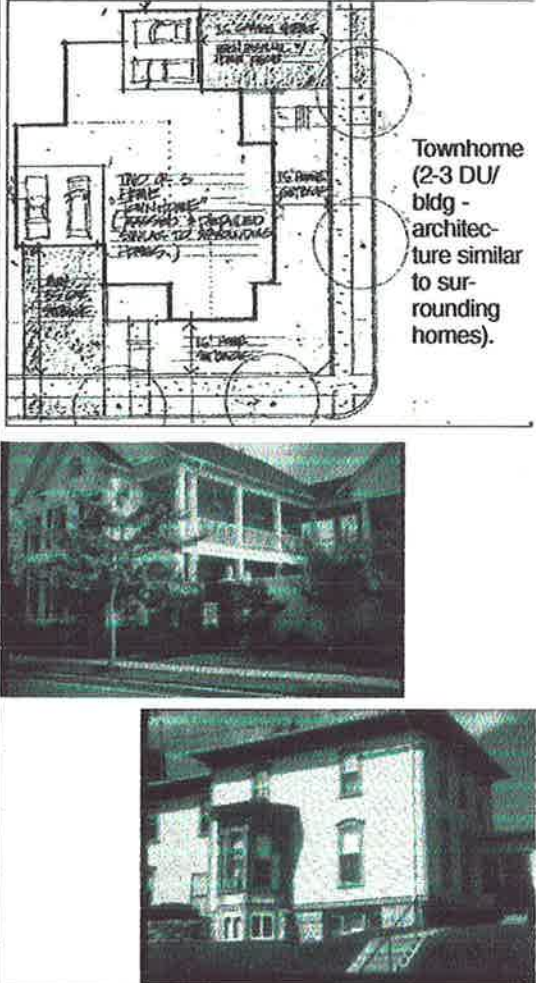
Corner home w/garage @ side street.



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THE
GARAGE:
continued



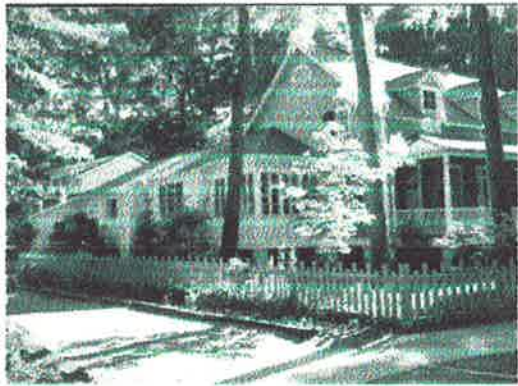


Side loaded garage.



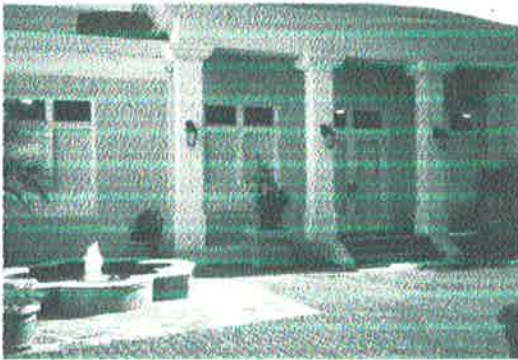

SUMMARY	EXAMPLE	DETAIL
<p>Accessory dwelling units "carriage homes", ... "granny flats" are a permitted use and structure.</p>		<p>G. ACCESSORY DWELLING UNITS</p> <ol style="list-style-type: none"> 1. 900 s.f. accessory dwelling units are permitted in Victor Garden homes. 2. "Flex space" designs for alternate use of garages/homes can provide space for an accessory dwelling unit, office, craft space, etc.
<p>Attached single family dwelling homes for two families are encouraged on corner lots.</p>		<p>H. TWO-FAMILY HOMES</p> <ol style="list-style-type: none"> 1. Design structure to look like single family home, with garages at either end or grouped in a way to shield visibility. Separate garages and entries should be screened from view from the same vantage point. 2. Exterior design, massing, selected style, and detailing must cause structure to appear as a larger single family detached home.

SUMMARY	EXAMPLE	DETAIL
	 <p data-bbox="532 793 711 823">Front entry walk.</p>	<p data-bbox="1019 205 1404 235">I. HARD SURFACES/PAVING</p> <ol style="list-style-type: none"> <li data-bbox="1036 247 1230 277">1. DRIVEWAYS <ol style="list-style-type: none"> <li data-bbox="1052 279 1529 394">a. Driveway gradient no greater than 15%. preferred drive not greater than 10% to 20' deep apron area at garage no greater than 4% slope. <li data-bbox="1052 422 1507 480">b. Driveways to be narrowed in the front yard area and curb cut locations. <li data-bbox="1036 510 1268 539">2. FRONT WALKS <ol style="list-style-type: none"> <li data-bbox="1052 541 1529 747">a. With or without a side walk, each home is to have a walk from the front entry/porch to the back of curb, preferably with steps near the street right-of-way line/back of sidewalk (exception: lots with unusually long drives or steep topography). <li data-bbox="1036 774 1252 804">3. PAVED AREA <ol style="list-style-type: none"> <li data-bbox="1052 806 1539 1005">a. Homes without a front porch must have a paved sitting area in the front portion of the lot at least 100 s.f. A deciduous overstory or understory tree, minimum 3" caliper must provide shade for the area. Creative/multi-use of paved surfaces is encouraged.
	 <p data-bbox="532 1339 685 1369">Natural areas.</p>	<p data-bbox="1019 1035 1333 1064">J. RETAINING WALLS</p> <ol style="list-style-type: none"> <li data-bbox="1019 1077 1529 1167">1. In the ARC Review submittals, show the top and bottom elevations of proposed retaining walls. <li data-bbox="1019 1194 1529 1339">2. Design for front and rear yard natural areas. Position ground cover, trees and shrubs in response to ARC - recommended tree massing, berming and natural area plans.

II. HOME DESIGN GENERAL GUIDES

Provide each individual home its own identity and character. Homes must be aesthetically balanced, with details consistent with the selected architectural style, and built with quality materials and workmanship. Homes not demonstrating adequate design variety will not be approved by ARC.

SUMMARY	EXAMPLE	DETAIL
<p>Emphasize the home's design.</p> <p>Tame the garage.</p> <p>Design and detail the home on all sides.</p>	  <p>Porteco/covered entry at side leads to rear garage.</p>  <p>Trellis/arbor/pergola as garage camouflage.</p>	<p>A. VISUAL IMPACTS</p> <ol style="list-style-type: none"> 1. Create attractive off-lot visual impacts. Be mindful of the home's massing as seen from surrounding road approaches and when viewed with other adjacent and surround homes. Avoid unaccented 2 & 3 story facades. 2. Respond to each lot's on and off- site opportunities to help define the views, the home's outdoor spaces and guide positions of home interior spaces 3. Select home design/ floor plans that establish a friendly relationship with the street via porches, decks, gradual level changes and anteways, entry sitting areas, courtyards, patios, terraces, sheltered entrys, etc. 4. Price efficiency can come with simpler, lower room-count, "box-on-box" floor plans, blended with modern, shared-space room layouts. 5. "Stage front" appearance will not be approved. The home's sides and rear should support the style of the home's front elevations, with similar trim, detailing & sidings. 6. Camouflage garages with setbacks from home front, with porch extensions, arbors, trellises, wing walls or retaining walls. Hide garbage & recycle bins through design, integral walls, fences, roofs. 7. Add steps from garage to home, provide headroom at garage service door. Allow space for added risers in garage and/or transition rooms within home, such as laundry/mudroom. Design should reduce impact of blank area above garage door(s) (ie. lowered roof line, trim/details.)

SUMMARY	EXAMPLE	DETAIL
<p>Provide main floor elevation that is raised 2 1/2 to 3 feet above the street elevation. 5 to 7 risers typical.</p>	 <p>With reduced front setbacks (that encourage neighboring), raise home to protect privacy.</p>	<p>B. HOME TO BACK OF CURB ELEVATION</p> <p>1. Raise home, with added front steps to capture the traditional look particularly with reduced setbacks... can turn on-grade homes to look-outs, look-outs to walkouts.</p>
<p>Pick a style, know and design to its' conventions.</p>	  	<p>C. ROOF PITCHES</p> <p>1. The roof on each home is one of the most important visual masses on the house. Roof slopes and overhangs must be appropriate to the selected individual style: Research your style, know its conventions.</p> <p>2. Design and refine well thought out, simple and strong roof forms. Increased roof pitches are generally preferred (except for some bungalow and prairie styles.)</p> <p>D. HARDSCAPE TERRACES/PORCHES/OUTDOOR LIVING SPACES</p> <p>1. Outdoor living spaces can provide effective transition between home, outdoors, and a place of interaction with neighbors. These could include patios, decks, gardens, terraces, seating areas. If a porch or terrace is prepared shown and labeled, it should be of sufficient size to allow seating for 2, minimum. Sheltered entries (without seating areas are acceptable) but then a terrace or other hard surface seating area at the front of the home must be provided.</p>

III. DETAIL HOME DESIGN GUIDES

The design of the homes for Victor Gardens will require a blend of standardized plans and custom adaptation to site and home owner needs and likes and Victor Gardens's streetscape will grow in character from the addition of one tasteful home after another. This depends a lot on details.

SUMMARY

EXAMPLE



**Minimum
porch width 8
feet.**

DETAIL

A. PREFERRED STYLES

- Designs utilizing modern floor plans within an architectural theme.
- Colonial, • victorian, • federal, • farmhouse, • cape cod, • tudor • stick, • shingle, (early) prairie school • arts & crafts bungalow.

B. PREFERRED MASSING

- 2 story, • story & 1/2, • ranch, • 2 story with attic dormers.

C. GARAGE TREATMENTS

1. Use two-story/ dormer elements over garages for architectural interest and bonus space.
2. Garage door accents and detailing should be used to break up its scale & designed to echo home style/ detailing, making it look less dominant, more a continuation of the structure. Do not use plain flush steel doors.
3. Where there are garage walls with no doors, there should be windows that match other windows & trim/ architectural details of the home.
4. In area below floor line and above grade, use stone, cultured rock, siding extensions, lattice, brick, stucco and "band"/ verge boards.

D. ENTRY PORCH/STOOP

1. Provide a stoop or entry porch (of useable size), large enough for plants and seating. They should be covered by an overhang, roof, trellis, portico or detail appropriate to home style.
2. Where a smaller sheltered entry is planned without a porch, provide an entry setting such as veranda, terrace or patio suitably sized for a minimum of two chairs.

SUMMARY

EXAMPLE



DETAIL

E. ROOF MATERIALS

1. Well proportioned overhangs, fascia, gutter, soffit, frieze, window trim & details, skirt board & corner treatment, supportive to selected dominant architectural style.
2. Roof materials may include cedar shakes, copper, slate, or a minimum of 250 lb. tabbed asphalt, "dimension" shingles. Small amounts of prefinished standing seam metal may be acceptable. Colors should be muted, dark shades with shadow coloring.
3. Valley flashing of copper, prefinished metal, or interwoven shingles are preferred.
4. Gutters and downspouts must be integrated to color and style of house.
5. Functional roof vents are encouraged. Continuous covered ridge vent, shingle-over type should be used. Avoid / minimize box vents.

F. ARCHITECTURAL SIDING & TRIM

1. Use materials & Architectural trim consistent with home and selected home style.
2. Use vents, recessed bays & cantilevers to create interest & shadow lines.
3. Exterior materials of masonry brick, stone, stucco and natural wood are preferred. Use great care in selection of "cultured stone" products for ARC. Samples are required.
4. Stained & prestained wood, clad, cementous materials or composites will be accepted if sample or manufacturer's catalog with trim indicated and color specified are submitted. b Other vinyl sidings may be approved by ARC. Wolverine vinyl siding/trim system is ARC approved. Specific colors and treatment must be ARC approved for each home.

G. MASONRY - BRICK/STONE, CULTURED STONE.

1. The first masonry on the house should be the fireplace chase, if visually prominent.
2. Masonry fronts must wrap corners to a logical stop, but no less than 24".

SUMMARY

EXAMPLE



DETAIL

3. Masonry, if used, apply in locations most visible.

4. Columns must be sized appropriate to their height and building mass supported.

H. FIREPLACE CHASE/CHIMNEY

1. Should reflect the home's style. Masonry chimney is preferred.

2. Decorative chimney caps/screens are encouraged.

I. DIRECT VENT FIREPLACES

1. Are permitted but boxed out "dog-house" forms are not allowed.

2. Chimney caps should be detailed flue top of box type design. An all wood chase is required to have an ARC approved flue cap.

J. DOORS AND WINDOWS

1. The entry door is expected to be a dominant feature. Sidelights and transoms are encouraged.

2. Use energy-efficient, quality doors & windows selected to fit the architectural style.

3. Select window grilles to be in character with architectural style.

4. Sliding doors are encouraged to mimic wider stile French doors.

K. WINDOW TRIM

1. Windows must have exterior trim consistent with selected architectural style; all elevations.

2. Windows and doors may be painted, natural wood, aluminum, or vinyl clad. Muted accent colors are encouraged - i.e., forest green, burgundy, colonial blue, etc.

3. Shutters, if used, should be sized to look as if they could close over entire window. Do not use with multiple window groups.

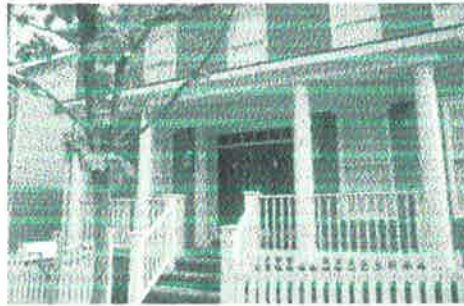
L. DECKS

1. Must be consistent with home design/style and should be an extension of the home.

2. Above ground decks must be supported with 9 1/4" x 9 1/4" or equal mass

SUMMARY

EXAMPLE



DETAIL

columns where visible*, designed in character with the massing of the home. Minimum of 6" x 6" column where decks will not be visible* from existing or future streets or residences. If deck is more than 2' above grade and visible*, screening below deck must be provided. Home materials must extend to deck detailing.

*visible; from existing or future streets, homes, parks or openspace.

3. Handrailing design and detailing should be consistent with the home's chosen style.

4. Cedar, redwood and wood composite wood construction is encouraged. Painted or stained depending on home style.

5. Future construction/decks should be included with the plans for approval, but indicated as future construction.

M. TRASH ENCLOSURE

- Accommodate garbage and recycle bins through added garage width or depth, wing-wall extensions, fence enclosure extensions, retaining walls.

IV. DETAIL SITE DESIGN GUIDES

SUMMARY

EXAMPLE



DETAIL

A. LOT PREPARATION

1. Lot development plan and landscape plan must be prepared by competent, experienced landscape designer or landscape architect.
2. Completely fence trees that are to be saved at a distance of 1.5 feet times the tree diameter in inches.

B. CORNER LOTS

1. Corner lots will have special review ensuring that each exposure to the street has received equal landscaping attention.

C. GRADING

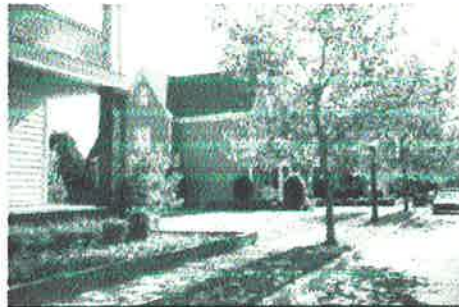
1. Builder's and owner's responsibility to prevent erosion and assure positive drainage.
2. Show erosion control plan with responsible party and schedule of tasks.
3. Show locations of topsoil stockpiles and fill soil stockpiles, and proposed silt fences.
4. Avoid abrupt slope intercept between existing and disturbed soil surfaces, and encourage rounding which blends into the natural grade.
5. Create contour and grade changes to enhance privacy, visual interest and amplify plant material impact.
6. Sod all swales. Minimum: swales min. 2% swales, minimum drainage slope 6" in first 10' away from all building sides. 1% on hard surface.
7. Contour site to protect mutual drainage issues and existing or potential basements.
8. Design, materials and layout must be submitted for ARC review prior to ordering.

SUMMARY

EXAMPLE



Decorative paving materials



Regularly spaced 3-4" caliper deciduous boulevard trees.



Front yard planting must include foundation planting as well as overstory trees.



Careful tree & shrub positioning softens & blends homes to the streetscape.

DETAIL

D. PAVING/FLATWORK

1. Flatwork and steps with decorative nosings and detail are encouraged at the front yard as well as the rear yard.
2. Decorative or colored paving is encouraged. This includes decorative expansion joints, break lines, stamped and colored asphalt ("Street Print" or equal), stamped and colored concrete ("Bomanite" or equal), brick or colored concrete, interlocking pavers.
3. Position retaining walls and slopes to preserve trees where possible. Select wall materials and colors to compliment the home design and material.

E. PLANTING

1. Site planting plan common and must include a plant list containing scientific names, sizes and planting conditions (balled and burlapped, potted, bare root, container grown, tree spade, etc.)
2. Regularly spaced 3-4" caliper deciduous boulevard trees should conform to ARC guide site plan.
3. Front yard landscapes are to respond to development planting and A.R.C. recommended planting plan.
4. Front yard planting must include foundation planting as well as both overstory, deciduous and coniferous trees, understory trees and shrubs.

F. REQUIRED PLANTING BUDGET:

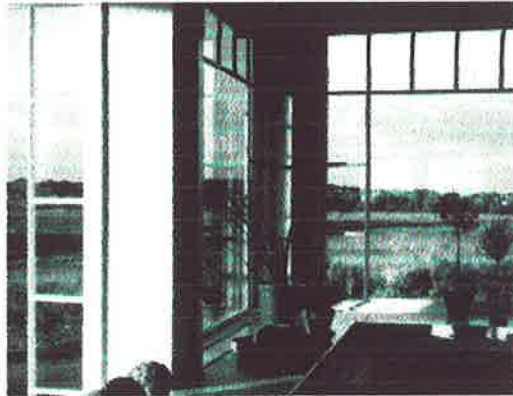
1. The budget for the Landscape Planting Plan must equal or exceed 2-3% of the home's value. See landscape policy agreement.

G. REQUIRED LANDSCAPE PLAN

1. A professional landscape plan must be prepared by a competent landscape designer or landscape architect.
2. ARC reserves right to require additional landscaping (above the minimum landscape budget) on lots where side and rear house elevations are highly visible to views from off-lot, and/or where lack of architectural design or detailing must be offset/screened with vegetation.

SUMMARY

EXAMPLE



Natural areas, woven with mowed turf areas, help to define outdoor rooms.



Select wet-association plants near water and upland planting for higher areas.



Traditional fencing materials of brick & iron.

DETAIL

H. NATURAL AREAS

1. Foundation plantings should be executed in a manner consistent with each home's style. (Soften blank walls, shelter entry walks, hedges for formal design.)

2. Natural areas refer to landscape features which function as visual edges to frame each lot. They help define the outdoor "rooms". In the front yard natural areas would generally be located close to the street, possibly adjacent to the lot line so the same idea could be continued by the neighboring lot owner. In the back yard natural areas are encouraged at or about the rear and/or adjacent side property lines. Natural landscape treatments should not replace foundation plantings. Natural areas must be a mutually agreed upon with the ARC and would include:

Examples:

- a. Natural forest emergent vegetation theme:
- b. Prairie grasses, wildflowers or other perennial ground covers.
- c. Formal garden theme: Rose bush garden, Formal perennial garden
- d. Patch of forest theme: a stand of young Aspen (this will require 10 to 20 trees, although they could be as small as 1" caliper.)

I. DECK PLANTING

1. Decks to be shaded by at least one 2 1/2" caliper deciduous shade tree.

J. SOD

1. Minimum sod: front, side and 20' in rear yard unless it runs into a 3:1 slope. Slopes must be sodded and staked or seeded with appropriate grasses, mulch or other A.R.C. treatment.

K. FENCING

1. All fence designs must be reviewed by the ARC prior to installation.

L. SECURITY FENCES

1. Standard chainlink fences will not be approved by ARC.

M. DECORATIVE FENCES

1. Front yard fences must be limited in height, must be approved by A.R.C., and are strongly encouraged to be traditional. Design: ie. picket, wrought iron...

SUMMARY

EXAMPLE



Picket fences with larger posts at ends & corners.

DETAIL

2. Wood or approved vinyl white, tan or grey picket or black, green or cream wrought iron fencing allowed in rear yards.
3. All fence designs must be reviewed and approved by the ARC prior to installation.
4. If fences are used, gates and archways are encouraged as a welcoming entry to property.
5. Privacy or utility screening must integrate with and compliment the architecture.
6. "Invisible fences" are encouraged should be used for dog enclosures.

N. RETAINING WALLS

1. Preserve trees & compliment home design with retaining materials & slopes.
2. Construction details should be provided for retaining walls greater than 3 feet exposed height.
3. Retaining walls should not exceed 6' per wall in height and be constructed of materials such as stone, veneer or decorative concrete block (i.e., keystone). Break up larger elevation drops with stepped multiple walls.
4. Landscape wall, surface materials and colors shall be consistent with accent materials used on home.

O. MAIL/NEWSPAPER BOXES

- Mail and newspaper boxes will be provided and installed by the Developer.

P. HOUSE NUMBERS

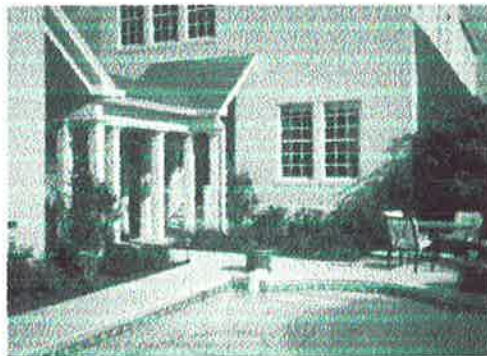
- Front yard house address identification standards (typeface & number height requirements) must be met.

Q. LIGHTING

1. Exterior light fixtures should be in character & style of home.
2. Lighting sources should be indirect where possible, with all lighting in shades of white (no colored bulbs other than at the holidays).
3. Spillover of glare must be avoided to neighboring lots and light sources must be shielded to prevent glare. Wall washes can be achieved through an eave or ground

SUMMARY

EXAMPLE



A private space created by pool and terrace.

DETAIL

mounted light fixture. Avoid soffit-mounted spot lights. ARC may allow such spots only in areas not visible to street or from other lots.

4. Tree uplights should be recessed below ground, behind shrub masses or down lights should be positioned within the trees, out of primary view.

5. Integrate landscape lighting with deck, arbor, post, bench & trellis elements.

R. DOG RUNS/HOUSES

1. Must be immediately adjacent to the home and screened appropriately with design, materials and trim similar to the primary home.

S. POOLS AND HOT TUBS

1. Design, materials and layout must be submitted for ARC review done in reference to the openspace plan requirements.

2. All pools and hot tubs should be fitted to the landforms, terraces, porches and decks. Above ground pools will only be allowed on specified lots so they can not be seen by the public or are made to appear as "in ground pools". Review all easements prior to planning a pool.

3. Associated code-required security fences, retaining walls, and lighting should meet requirements described.

T. SPECIAL REQUIREMENTS

1. During construction each homesite will be kept clean and free of debris. Each builder will be held responsible for debris which blows off the site, so police your site. If the developer must clean up the appropriate charges will be passed on.

2. Every owner and builder is responsible to provide erosion control per all applicable regulations.